

CURRENT REVISION + NOTES

Date:

Description:

22.05.25

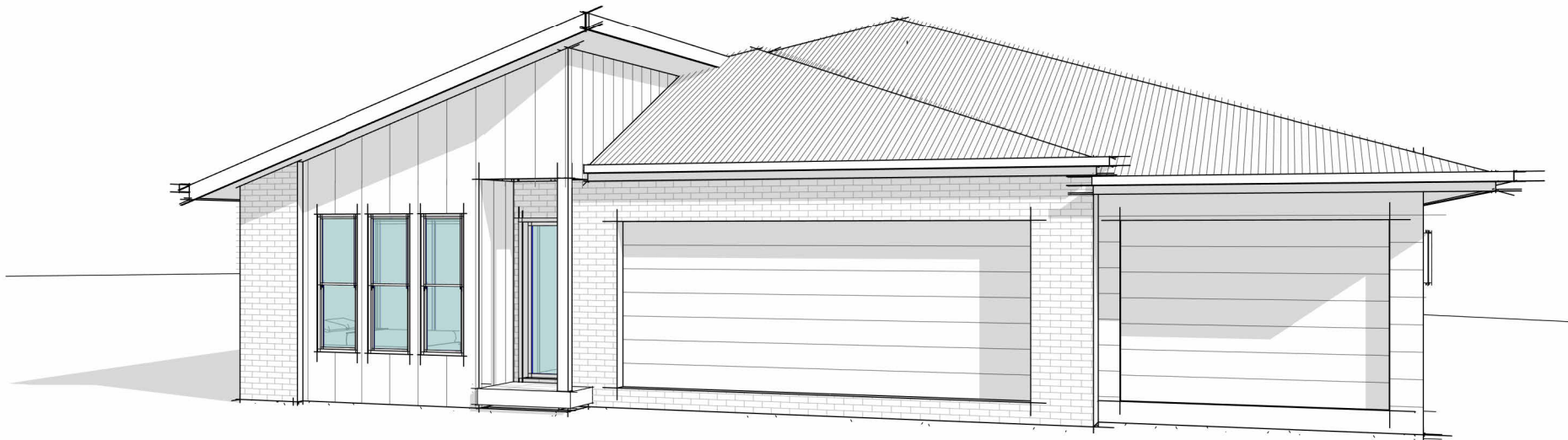
CHANGE OF USE

Issue:

Drawn:

A

MS



CHANGE OF USE - STRATA SUBDIVISION

CLIENT: RUPANI
STATUS: DA PLANS
LOT No: 199 DP No: 1279023
STREET: 38 MARRA DRIVE, OLD BAR, 2430
CWC JOB #: A6185

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GENERIC | TYPICAL KEY, LEGEND AND ABBREVIATIONS FOR COLLINS W COLLINS ARCHITECTURAL PLANS

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS. PLEASE USE THIS IN CONJUNCTION WITH ALL DRAWING SHEETS AND VIEWS CONTAINED FORTHWITH IN THIS PLAN SET.

REVISED JANUARY 2021

SYMBOLS AND LINES

SITE PLAN | S68 S138 PLAN

	LOT BOUNDARY
	SEWER LINE
	STORMWATER LINE
	WATER CONNECTION LINE
	DOWNPIPE TO WATER TANK
	DOWNPIPE FROM TANK TO APPLIANCE
	SILTATION CONTROL FENCING
	SITE HOARDING FENCING
	BATTER EXTREMITIES LINE
	EASEMENT BOUNDARY
	OVERHEAD POWER LINES

	FALL OF BATTER SLOPE
	DRIVEWAY SURFACE
	GARDEN TAP
	WATER METER / ALTERNATE WATER METER
	SANDBAG
	TEMPORARY HOARDING GATES
	STREET TREE / SITE TREE
	LIGHT POLE
	POWER POLE

	ELECTRICAL CUBICLE / PIT
	NBN PIT
	TELECOMMUNICATIONS PIT
	TO BE DEMOLISHED / REMOVED
	DEMOLITION LINE

FLOOR PLANS / SECTIONS (INCL SETOUT, ROOF, DETAIL CALL OUTS)

	OVERHEAD ITEM
	DEMOLITION LINE
	UPPER FLOOR OUTLINE
	ROOF OUTLINE OVER
	RAKED CEILING LINE
	BEAM LINE
	SQUARE SET OPENING
	TERMITE PROTECTION: TO AS 3660.1
	NATURAL GROUND LINE (EXCAVATED)
	COLUMN (MATERIAL AS PER SCHEDULE OR PLAN)
	MASONRY PIER (SIZE AS PER SCHEDULE OR PLAN)
	ENGAGED PIERS: TO COMPLY WITH AS 4773.1-2010 & AS 4773 2-2010
	INSULATION BATTING
	TO BE DEMOLISHED / REMOVED
	EARTH / SOIL

	FILL (TO ENGINEERS DETAIL)
	WET AREA TILED FLOOR SURFACE
	COMMON / OUTDOOR TILED FLOOR SURFACE
	BROOM FINISH CONCRETE FLOOR SURFACE
	MASONRY WALL
	CONCRETE
	TIMBER/METAL STUD FRAMED WALL
	CONCRETE BLOCK WALL
	MASONRY VENEER WALL
	METAL SHEET ROOFING
	KLIP-LOK (OR SIMILAR) METAL SHEET ROOFING
	TILED ROOF
	WAFFLE POD (TO ENGINEERS DETAIL)
	TACTILE GROUND SURFACE INDICATORS: TO AS 1428.4.1:2009
	STAIRS INCLUDING DIRECTION OF TRAVEL (UP)
	RAMP INCLUDING DIRECTION OF TRAVEL (UP)

	GARDEN TAP
	RAINWATER DOWNPIPES: TO AS 3500
	SMOKE ALARMS: SMOKE ALARMS TO AS3786 AND NCC, VOL. 2, PART F3D6 AND PART 9.5 OF THE ABCB HOUSING PROVISIONS. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS
	MECHANICAL VENTILATION: MECHANICAL VENTILATION EXTERNALLY DUCTED TO COMPLY WITH NCC, VOL. 2, PART F4D7 AND PART 10.6 AND 10.8.2 OF THE ABCB HOUSING PROVISIONS
	SLIDING DOOR UNIT OPENING DIRECTION
	SLIDING WINDOW OPENING DIRECTION
	AWNING/CASEMENT WINDOW OPENING DIRECTION
	HINGED DOOR OPENING DIRECTION
	GAS BOTTLES
	ELECTRICAL METER BOX
	GAS INSTANTANEOUS HOT WATER SERVICE
	HOT WATER TANK
	SOLAR HOT WATER SERVICE
	COOKTOP
	SINK TYPICAL

GENERAL SYMBOLS AND ARCHITECTURAL SYMBOLS

	NORTH
	WINDOW TAG (DA/CC)
	DOOR TAG (DA/CC)

	TYPICAL SECTION MARKER
	TYPICAL ELEVATION MARKER
	TYPICAL CALL OUT MARKER
	VIEW TAG AND SCALE

RENOVATION / DEMOLITION SYMBOLS

	TO BE DEMOLISHED OR REMOVED
	EXISTING ITEM / ELEMENT (FLOOR/WALLS/WINDOWS ETC)
	PROPOSED NEW ITEM / ELEMENT

	TO BE DEMOLISHED OR REMOVED
	EXISTING AREA / FACADE / ROOM

MULTI STOREY SITE PLAN SYMBOLS / LEGEND

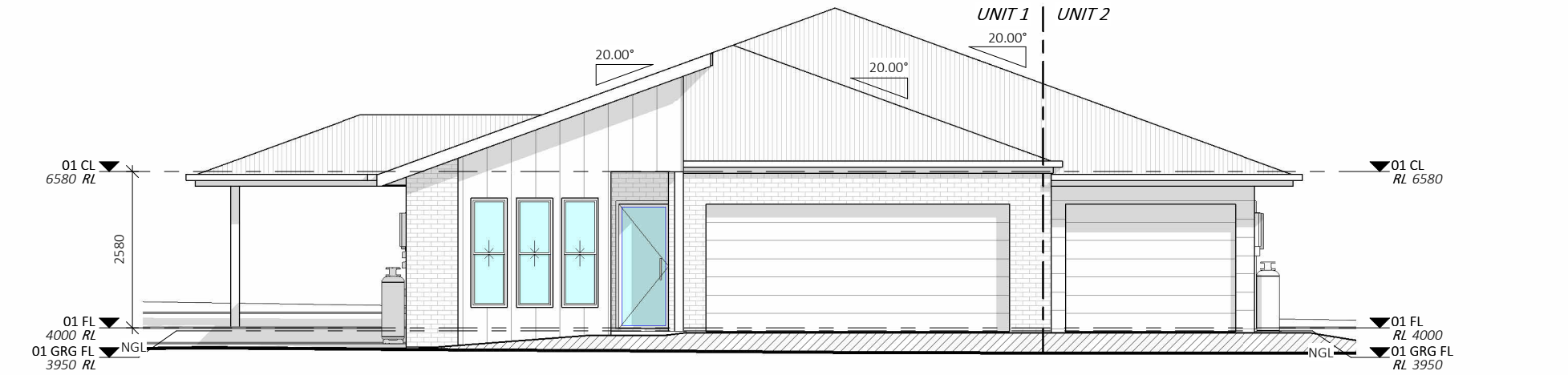
	LOWEST FLOOR (GROUND TYPICAL)
	MIDDLE FLOOR
	UPPER FLOOR

GENERAL ABBREVIATIONS

ARI	AVERAGE RECURRENCE INDEX
AHD	AUSTRALIAN HEIGHT DATUM
CLT	CROSS LAMINATED TIMBER
COL	COLUMN
COW	COST OF WORKS
DCP	DEVELOPMENT CONTROL PLAN
DEG.	DEGREES
DGPO	DOUBLE GENERAL POWER OUTLET
DH	DOUBLE HUNG WINDOW
DP	RAINWATER DOWNPIPE
DTR	DOUBLE TOWEL RAIL
HWS	HOT WATER SERVICE
FC	FIBRE CEMENT
F.S.L	FINISHED SURFACE LEVEL

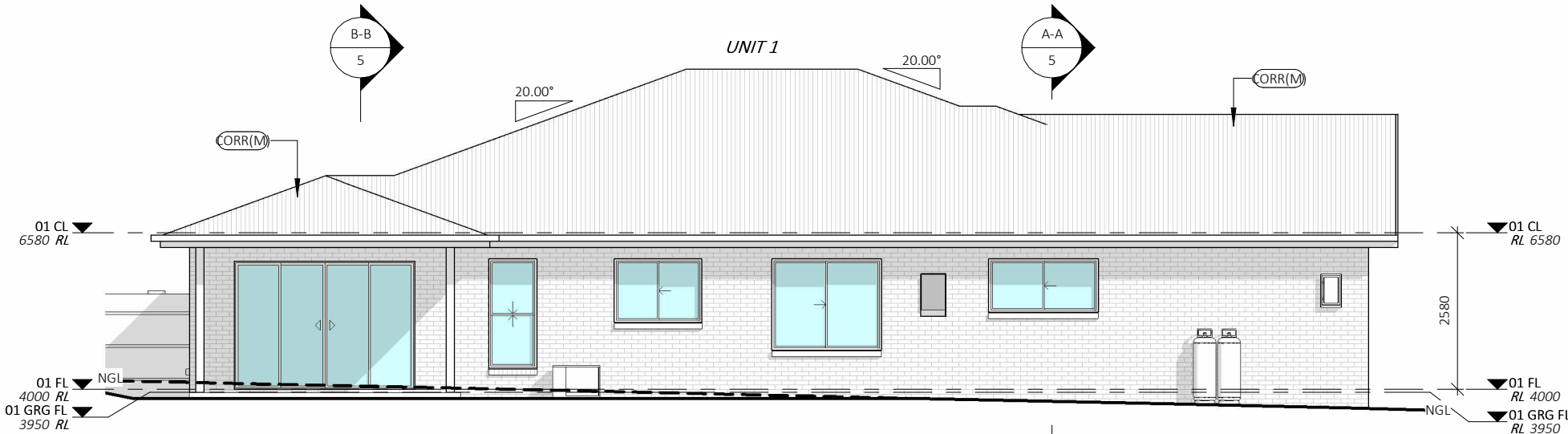
F	FIXED GLASS / PANEL
FG	FIXED GLASS WINDOW
GLT	GLUE LAMINATED TIMBER
GTAP	GARDEN TAP
GPO	GENERAL POWER OUTLET
GRG	GARAGE
HWS	HOT WATER SERVICE
LEP	LOCAL ENVIRONMENT PLAN
LOH	LIFT OFF HINGE
LVL	LAMINATED VENEER LUMBER
MECH.	MECHANICAL
MB	ELECTRICAL METER BOX
MR	MOISTURE RESISTANT
MH	MAN HOLE
NGL	NATURAL GROUND LINE

PB	PLASTER BOARD
RET. WALL	RETAINING WALL
RC	REINFORCED CONCRETE
PV	PHOTOVOLTAIC
RL	REDUCED LEVEL
SB	SUB ELECTRICAL METER BOX
SL	SURFACE LEVEL
SW	STORM WATER
TRH	TOILET ROLL HOLDER
T.O.K	TOP OF KERB
T.O.W	TOP OF WALL
WC	WATER CLOSET
1650B	BATH SIZING
900V	VANITY SIZING
820	INTERIOR DOOR SIZING



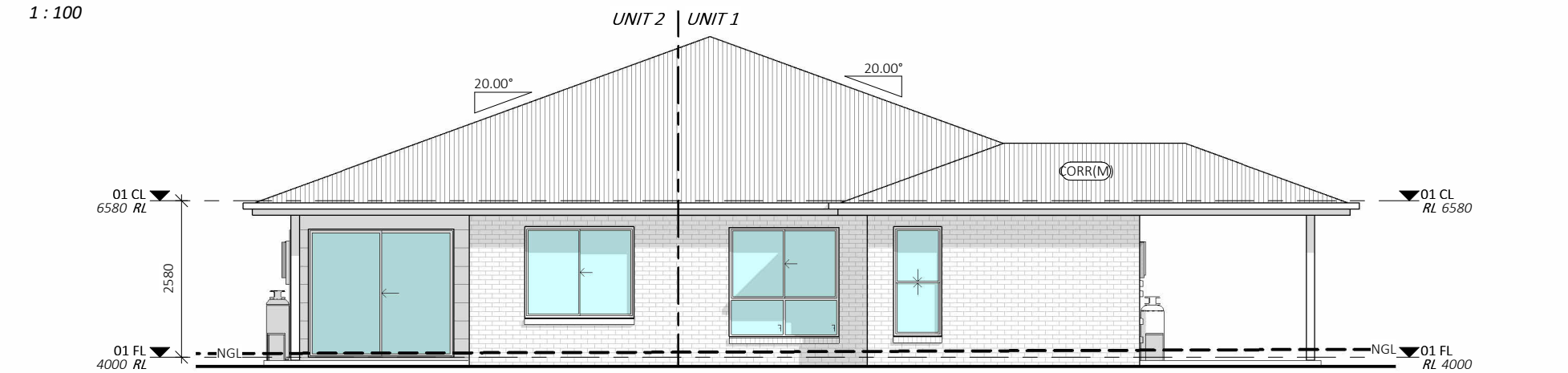
NORTH ELEVATION

1 : 100



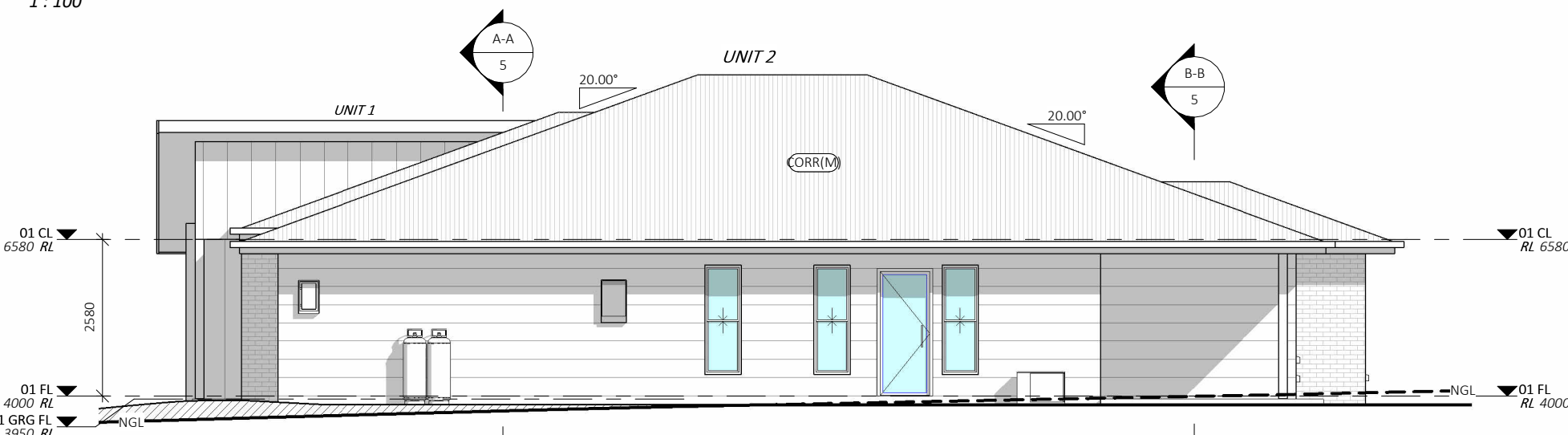
EAST ELEVATION

1 : 100



SOUTH ELEVATION

1 : 100



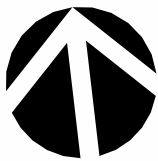
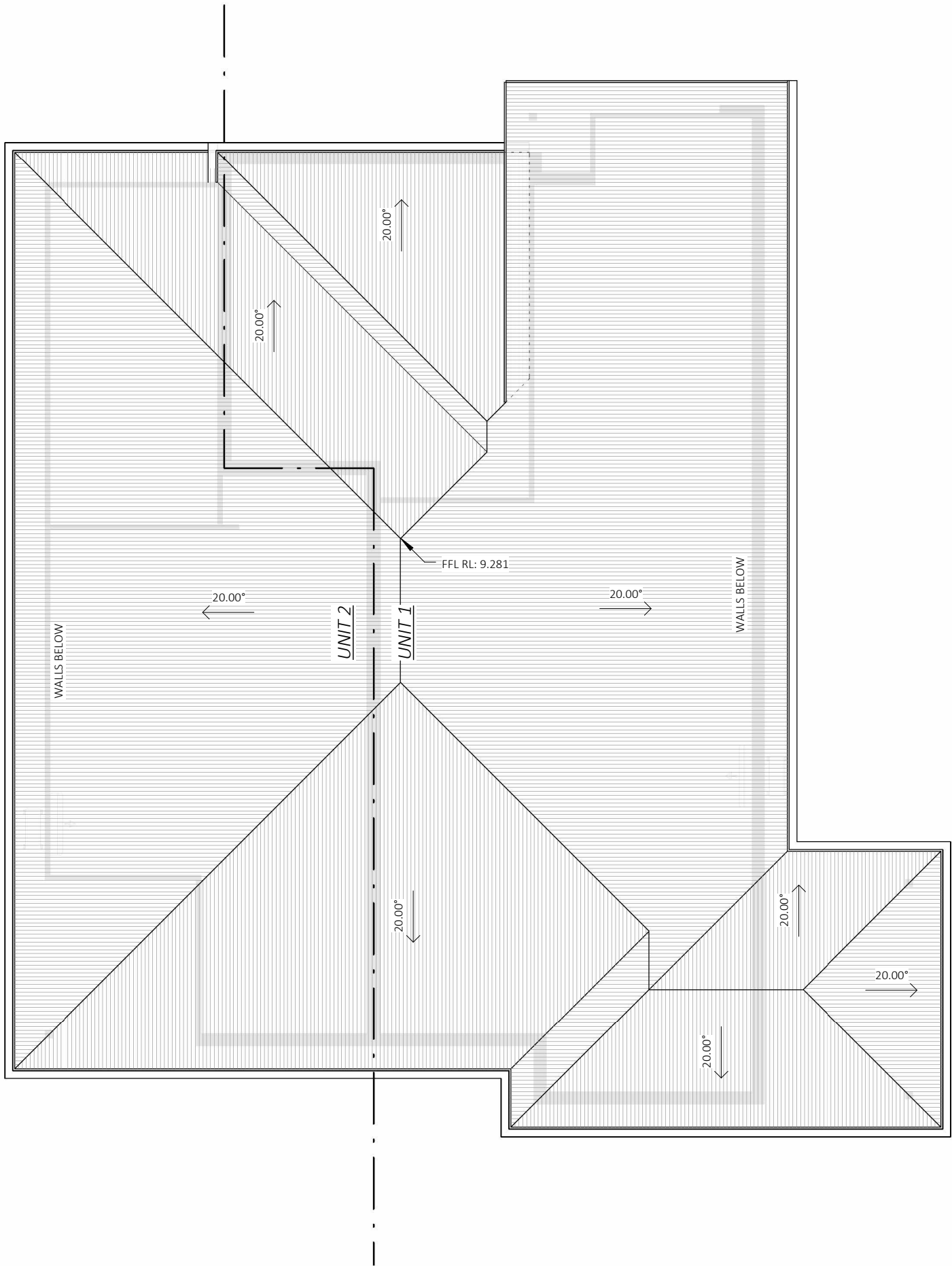
WEST ELEVATION

1 : 100

GENERAL PLAN SET NOTES:
CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS

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	STATUS: DA PLANS		SCALE:		Date:	Revision:	Issue:	Drawn:
	LOT No: 199 DP No: 1279023		SHEET SIZE:		22.05.25	CHANGE OF USE	A	MS
	STREET: 38 MARRA DRIVE, OLD BAR, 2430		START DATE:					
	CLIENT: RUPANI		DWG No:					

AREAS - ROOF AREAS	
NAME	AREA
U1 ROOF	191.1 m ²
U2 ROOF	107.2 m ²
TOTAL	298.3 m ²



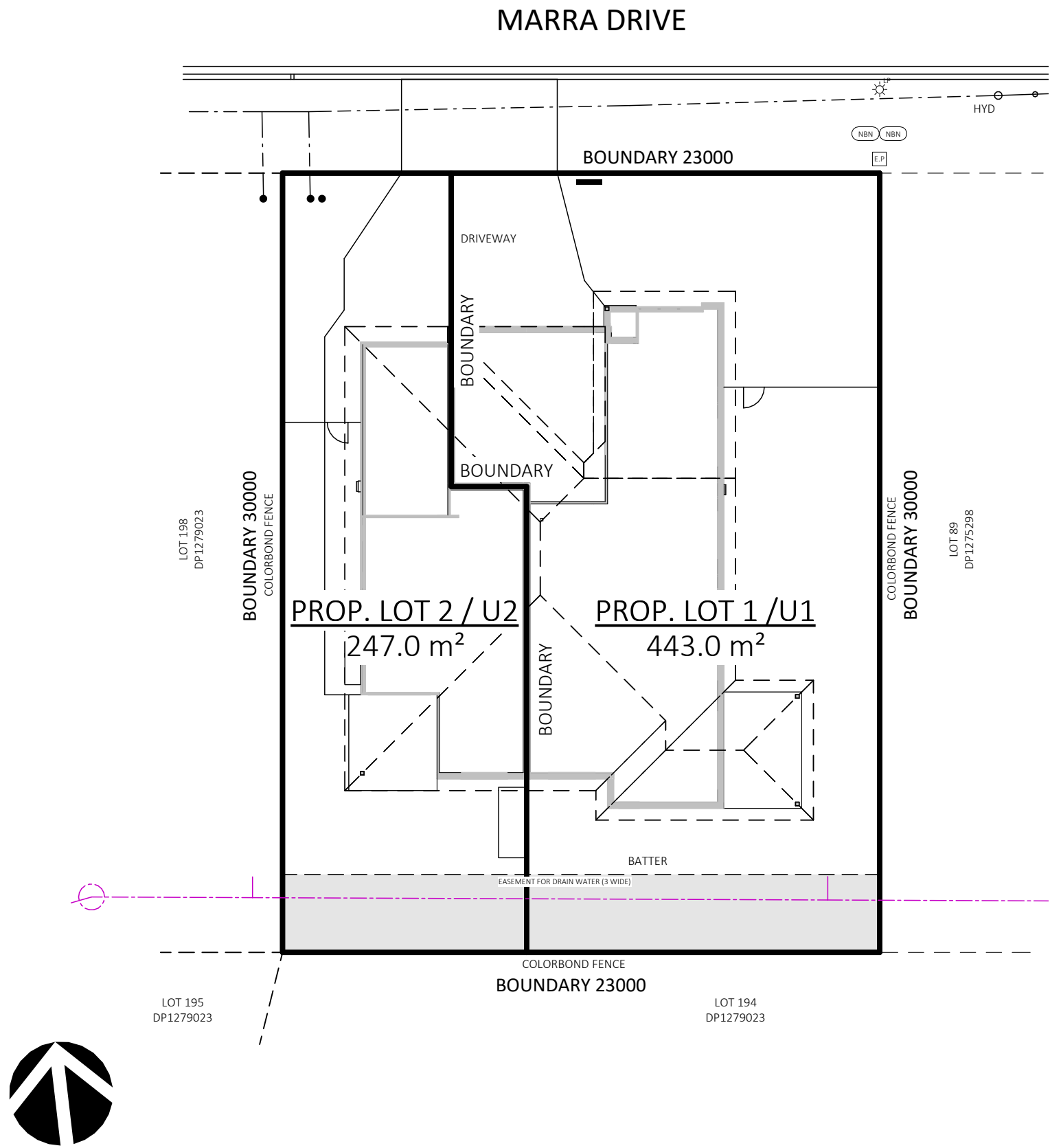
ROOF PLAN
1 : 100

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						Date:	Revision:		Issue:	Drawn:
		STATUS: DA PLANS		SHEET: 6 OF 11	SCALE:	1 : 100	22.05.25	CHANGE OF USE	A	MS
		LOT No: 199 DP No: 1279023			SHEET SIZE:	A3				
		STREET: 38 MARRA DRIVE, OLD BAR, 2430			START DATE:	18.12.23				
		CLIENT: RUPANI		DWG No:	A6185					

EXISTING LOT SCHEDULE	
NAME	AREA
EXISTING LOT	690.0 m ²
TOTAL: 1	690.0 m ²

PROPOSED LOT SCHEDULE	
NAME	AREA
PROP. LOT 2 / U2	247.0 m ²
PROP. LOT 1 /U1	443.0 m ²
TOTAL: 2	690.0 m ²



INDICATIVE SUBDIVISION PLAN

1 : 200

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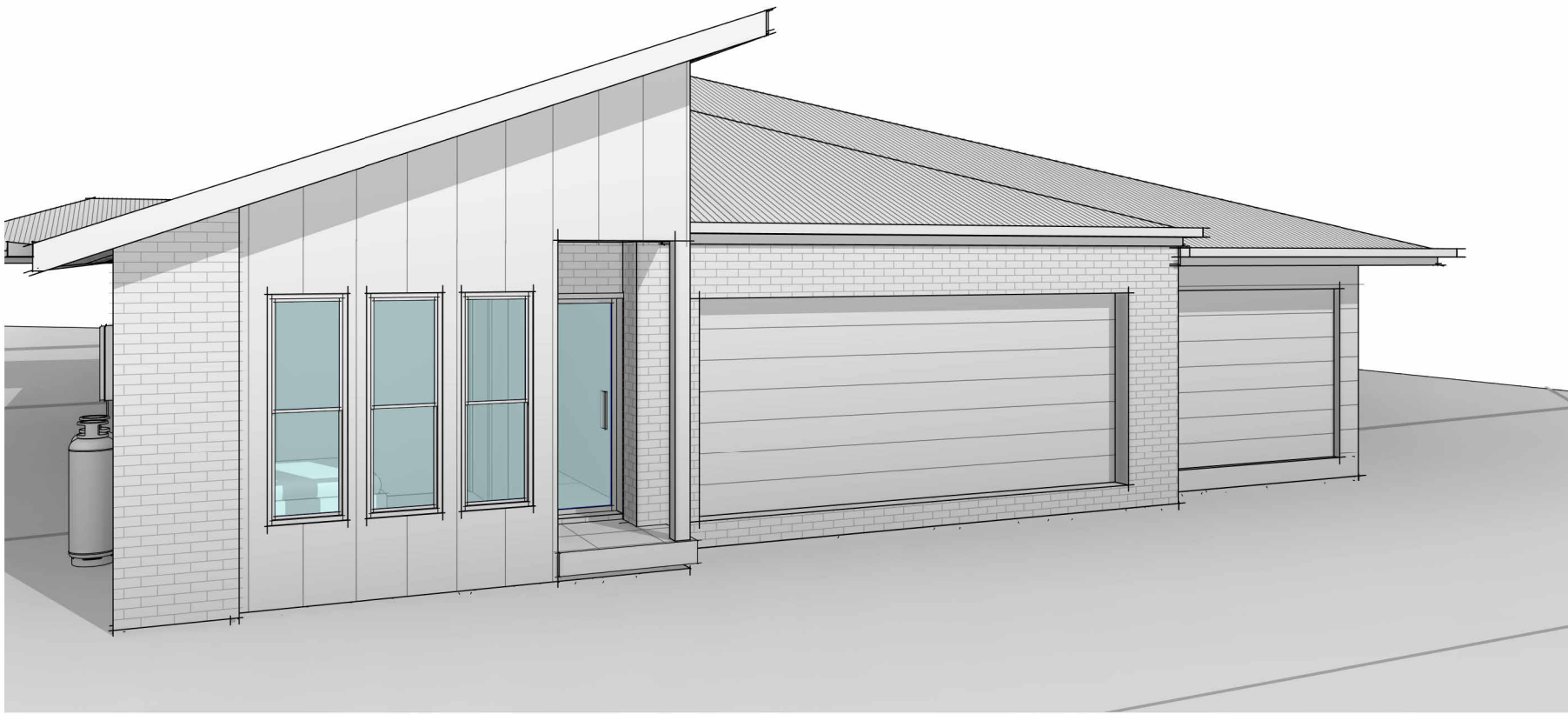
PROJECT: CHANGE OF USE - STRATA SUBDIVISION

STATUS: DA PLANS	SHEET: 7 OF 11
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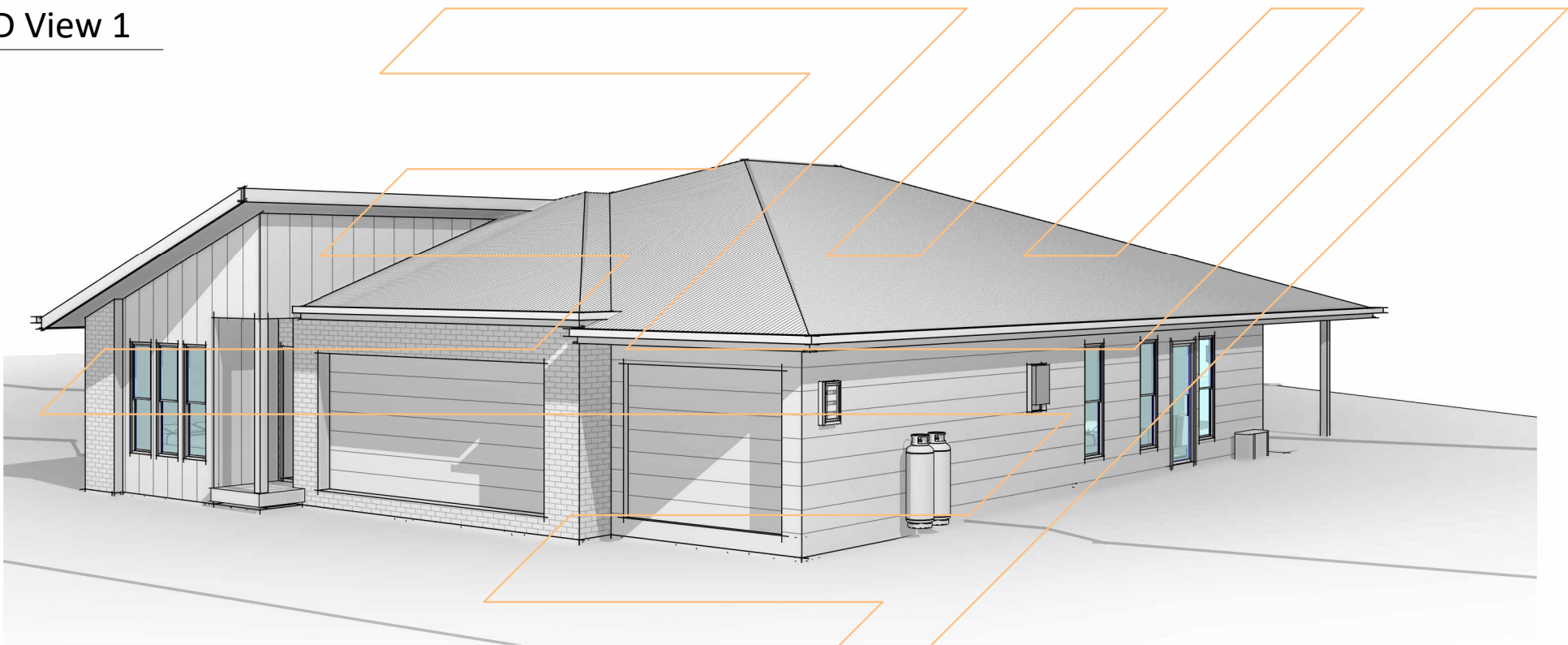
INDICATIVE SUBDIVISION PLAN

SCALE:	1 : 200
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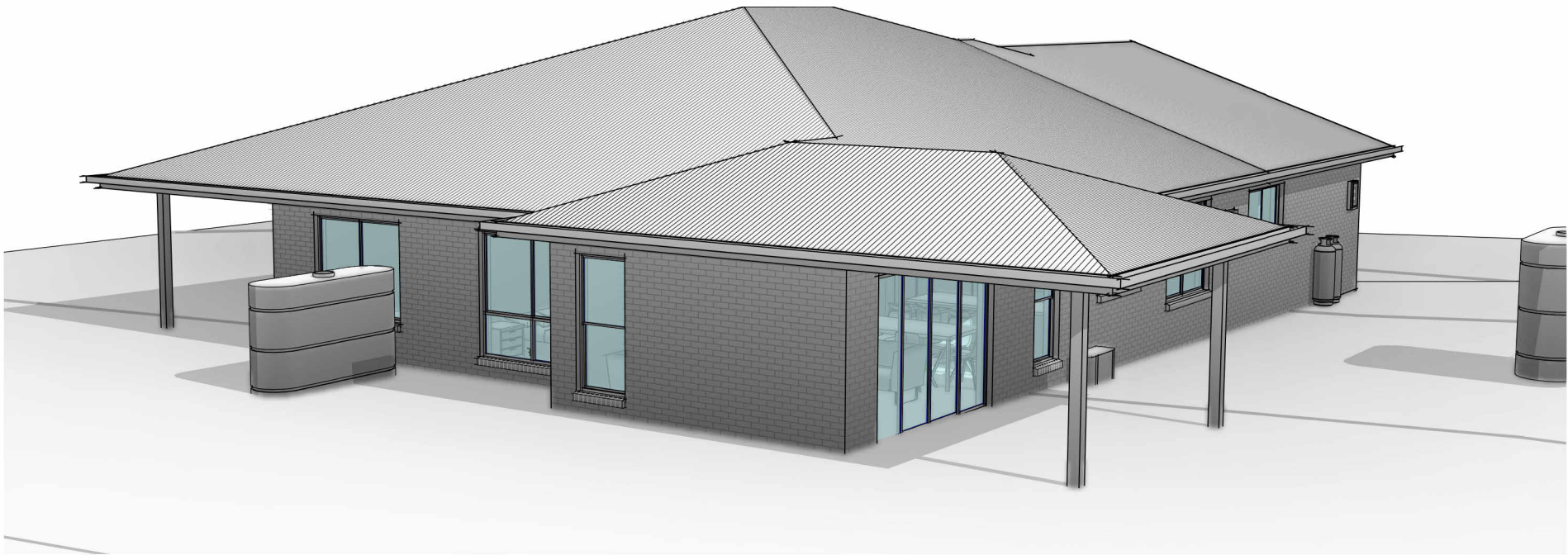
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3D View 1



3D View 2



3D View 3

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